



RESIDENTIAL

SWIMMING POOLS, SPAS & HOT TUBS

VILLAGE OF LOMBARD | DEPARTMENT OF COMMUNITY DEVELOPMENT | BUILDING DIVISION

This handout was developed to identify the basic requirements and assist you with your pool/spa/hot tub project. The guidelines provided herein are by no means all-inclusive, but they do identify the most critical items that are involved in this type of project. Prior to beginning any pool/spa/hot tub work, a permit must be obtained for any structures over 24" deep from the Village of Lombard, Community Development Department's Building Division.

REFERENCED CODES

- LOMBARD MUNICIPAL CODE
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2017 NATIONAL ELECTRIC CODE (NFPA 70)

READY TO APPLY? GO TO OUR ONLINE PORTAL AT villageoflombard.org/onlinepermits TO BEGIN YOUR PERMIT APPLICATION PROCESS.

APPLICATION TYPE: RESIDENTIAL BUILDING PERMIT | SUB TYPE: SWIMMING POOL (- ABOVE GROUND /- IN GROUND) OR MISCELLANEOUS (SPA/HOT TUB)

SUBMITTAL CHECKLIST *(review process will not begin without complete document submittal, please see the list below)*

- ONLINE PORTAL PERMIT APPLICATION *(must be completely filled out)*
- DOCUMENT SUBMITTAL *(must be combined into a single PDF file):*

ABOVE-/ON-GROUND INSTALLATION

- POOL SPECIFICATIONS
MANUFACTURER'S BROCHURE SHOWING TYPE OF THE POOL/SPA/HOT TUB, ITS CONSTRUCTION AND DIMENSIONS.
- PLAT OF SURVEY
UP-TO-DATE PLAT SHOWING TO-SCALE: 1) THE LOCATION OF THE PROPOSED POOL/SPA/HOT TUB, 2) DISTANCE TO THE PRINCIPAL RESIDENCE AND OTHER STRUCTURES, 3) SETBACKS FROM THE PROPERTY LINES, AND 4) APPROXIMATE LOCATION OF THE NEARBY UTILITY LINES.
- GRADING PLAN – *if requested*
PLAN REQUIRED WHERE THE PROPOSED POOL/SPA/HOT TUB LOCATION MAY BLOCK THE EXISTING DRAINAGE PATTERNS.

IN-GROUND INSTALLATION

- CONSTRUCTION PLAN SET
POOL AND POOL DECK PLAN, PIPING PLAN, ELECTRICAL GROUNDING PLAN AND ELECTRICAL DIAGRAMS, AS WELL AS APPLICABLE CONSTRUCTION DETAILS.
- EQUIPMENT SPECIFICATIONS
CUT SHEETS FOR FILTER, PUMP, HEATER, LIGHTING, CONTROLS, SAFETY COVER, ETC.
- ENGINEERING PLAN SET
TO-SCALE SITE PLANS SHOWING EXISTING SITE CONDITIONS AND PROPOSED SITE CONDITIONS WITH DETAILED GRADING AND DRAINAGE PATTERNS.

PAPER-BASED SUBMITTAL: (1) COMPLETELY FILLED OUT PERMIT APPLICATION AND (3) STAPLED HARD COPIES OF THE DOCUMENTS AS LISTED ABOVE.

*****SPECIAL DESIGN NOTE*** SOME SAFETY BARRIER SOLUTIONS MAY NOT BE APPROPRIATE SHOULD THE PLACEMENT OF A DECK BY THE POOL/SPA/HOT TUB BE A FUTURE CONSIDERATION.**

PRIOR TO EXCAVATION WORK CALL 811 OR 1-800-892-0123 OR VISIT illinois2call.com TO PLACE A UTILITY LOCATE REQUEST.

IF MODIFICATIONS TO THE ELECTRICAL SERVICE ARE REQUIRED, COORDINATE WITH YOUR UTILITY PROVIDER PRIOR TO COMMENCEMENT OF ANY WORK. ADDITIONAL PERMITS, REQUIREMENTS, RESTRICTIONS AND FEES MAY APPLY.

QUESTIONS OR CONCERNS? PLEASE CONTACT:

VILLAGE OF LOMBARD | DEPARTMENT OF COMMUNITY DEVELOPMENT | BUILDING DIVISION
255 EAST WILSON AVENUE, LOMBARD, IL 60148 | (630) 620-5750 | PERMITS@VILLAGEOFLOMBARD.ORG

KEY DEFINITIONS

SWIMMING POOL. Any structure intended for swimming, recreational bathing or wading that contains water over 24” deep. This includes in-ground, above-ground and on-ground pools; hot tubs; spas and fixed-in-place wading pools.

SPA / HOT TUB. A product intended for the immersion of persons in temperature-controlled water circulated in a closed system, and not intended to be drained and filled with each use.

STORABLE POOL/SPA/HOT TUB. A structure intended to be stored when not in use, constructed on or above the ground, and capable of holding max. 42” deep water or a structure constructed on or above the ground with nonmetallic, molded polymeric or inflatable fabric walls regardless of dimension.

RESIDENTIAL SWIMMING POOL/SPA/HOT TUB. A pool/spa/hot tub intended for use that is accessory to a residential setting and available only to the household and its guests.

ZONING REQUIREMENTS [§ 155.210]

LOCATION

Pools/spas/hot tubs and accessory structures shall not be located: 1) in a required front, corner side or interior side yard, 2) within an easement, or 3) within required setbacks from the property lines. (Figure 1.)

LOT OPEN SPACE

All single-family residential lots must maintain a minimum of 50% open space. Open space is lawn, garden, or natural landscape area. Permeable pavers are not considered open space.

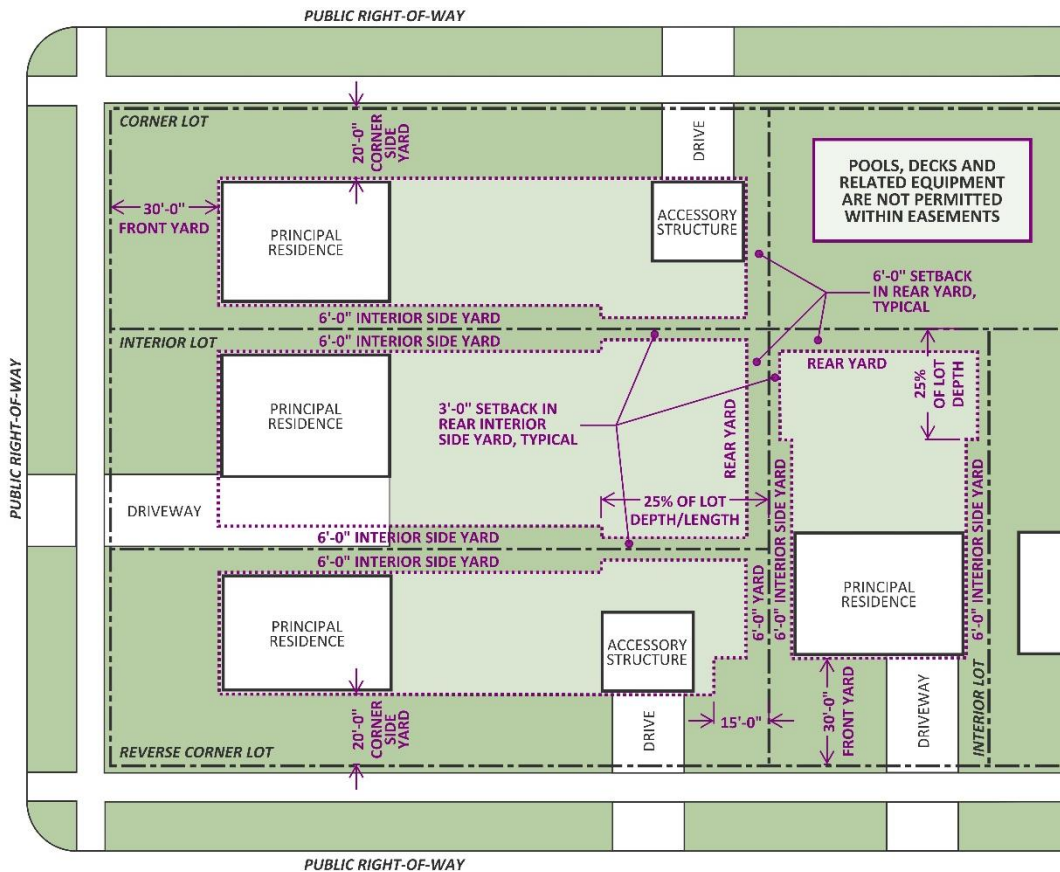


FIGURE 1. ALLOWABLE POOL/SPA/HOT TUB LOCATION WITHIN SETBACK LINES (SHADED AREAS)
 NOTE: POOLS, DECKS AND RELATED EQUIPMENT ARE NOT PERMITTED WITHIN EASEMENTS.

SAFETY BARRIER [ISPSC 305]

A permanent fence, wall, building wall, or combination thereof that completely surrounds the pool/spa/hot tub and obstructs the access to it. The term “permanent” shall mean not being able to be removed, lifted, or relocated without the use of a tool.

GENERAL REQUIREMENTS (Figure 2.)

The top of the barrier shall be min. 48” above adjacent grade measured outside of the required barrier and maintained for a distance of 36” measured horizontally.

Openings in the barrier shall not allow passage of a 4” diameter sphere. See “Fences” and “Gates” for additional restrictions on opening sizes.

The pool/spa/hot tub side of the barrier shall be setback min. 20” from water’s edge.

EXCEPTION FOR SPAS & HOT TUBS

Safety barrier is not required where spa/hot tub is equipped with a lockable cover per ASTM F1346.

POOL WALL STRUCTURE

Above-/on-ground pool wall structure may serve as a safety barrier. The top of the pool wall shall be min. 48” above adjacent grade around entire perimeter of the pool and the pool manufacturer must allow the wall to serve as a safety barrier. Pool access ladders/stairs shall be capable of being secured, locked or removed.

SOFT SIDE POOLS MAY NOT SERVE AS A SAFETY BARRIER. FENCE INSTALLATION MAY BE REQUIRED.

FENCES (Figure 2.)

Fence barriers shall not have indentations or protrusions that form handholds and/or footholds.

Where the distance between the tops of the horizontal fence members is less than 45”, the horizontal members shall be located on the pool/spa/hot tub side and spacing between vertical members shall be max. 1-3/4” in width.

FENCES (Continued)

Chain link fence and fence of diagonal members shall have openings not greater than 1-3/4”. The diagonal members the members shall be max. 45 degrees from vertical.

Also, fences must comply with the regulations regarding fence height, placement, and type of construction per § 155.205 of the Lombard Zoning Ordinance.

GATES (Figure 2.)

All access gates shall be equipped with a locking device. Pedestrian gates shall open away from the pool/spa/hot tub area and shall be self-closing and self-latching.

If the release mechanism of the self-latching device is located less than 54” from grade, it shall be located on the pool/spa/hot tub side of the gate min. 3” below top of the gate. The gate and barrier shall not have openings greater than 1/2” within 18” of the release mechanism.

BUILDING WALL WITH OPENINGS

Where windows and doors provide direct access to the pool/spa/hot tub area, all operable windows with a sill height of less than 48” above the interior finished floor and all doors shall have an audible alarm that activates when the window/door (including screen) is opened. The alarm shall be listed and labeled in accordance with UL 2017. Exception: Alarm is not required where a spa/hot tub is provided with a safety cover per ASTM F1346 or where windows and doors are self-closing and equipped with self-latching devices.

SECURE PET/DOGGY DOOR THAT LEADS DIRECTLY TO POOL/SPA/HOT TUB AREA.

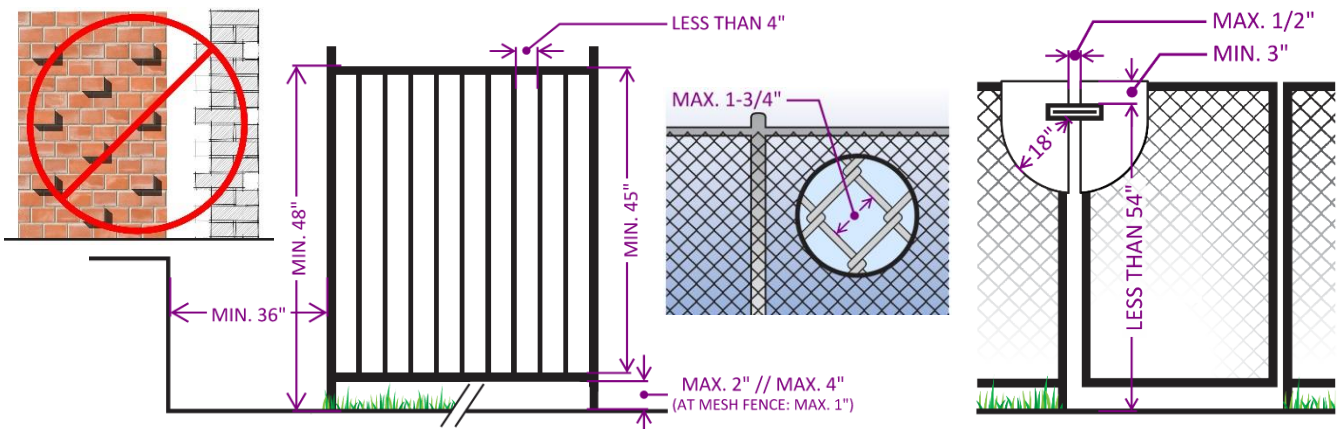


FIGURE 2. TYPICAL SAFETY BARRIER DIMENSIONS AND CLEARANCES

ELECTRICAL

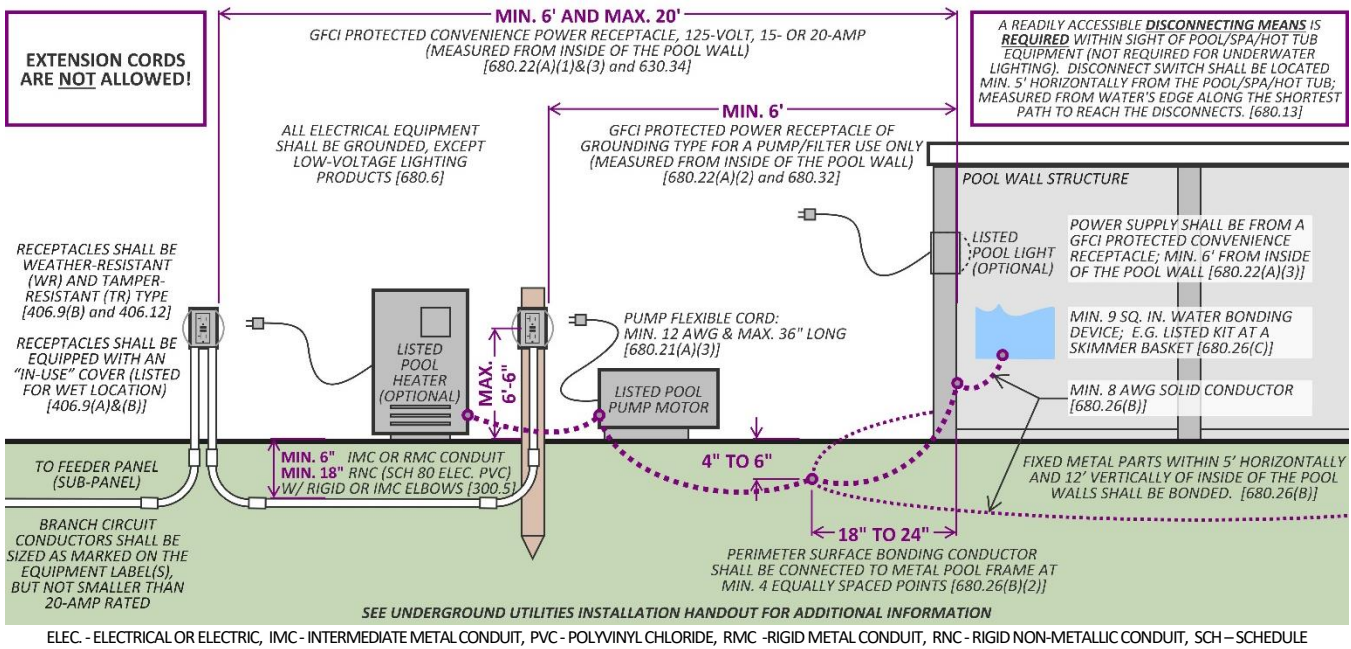


FIGURE 3. ELECTRICAL REQUIREMENTS FOR ABOVE-/ON-GROUND POOLS AND SPAS/HOT TUBS

GENERAL REQUIREMENTS [NEC ART. 680; Figure 3.]

Electrical work shall be performed by a licensed electrician registered with the Village or the Homeowner. All electrical components shall be listed, labeled, and installed in accordance with applicable product standards. The pump/filter shall be plugged into a GFCI protected receptacle located min. 6' from the pool wall. An additional GFCI protected convenience receptacle shall be located min. 6' and max. 20' from the pool wall. An existing receptacle located on the exterior of the house or garage meeting these requirements may be used.

Device boxes shall be properly supported and not rely on raceway pipes alone unless installed per Figure 3.

The pump/filter cord shall be max. 3' long. For equipment listed for a *storable swimming pool*, cord shall be min. 25' long.

All metal parts of the pool, pump/filter, and any accessories along with the pool water must be bonded together per Fig. 3. Field-installed grounding and bonding connections in damp, wet, and corrosive environments shall be of copper, copper alloy, or stainless steel and shall be listed for direct burial use. [680.7]

Wiring methods installed shall contain an insulated copper equipment grounding conductor (green in color) sized per table 250.122, but not smaller than 12 AWG. [680.25(A)]

Electrical conductors supplying pool equipment and outlets must be buried in electrical conduit per Figure 3.

Underwater luminaires (optional) shall be permanently installed in or on the pool wall in accordance with the manufacturer's manual. Transformers and power supplies shall be listed for pool/spa/hot tub use. [680.23(A)]

SERVICE CLEARANCES [COMED'S RED BOOK; Figure 4.]

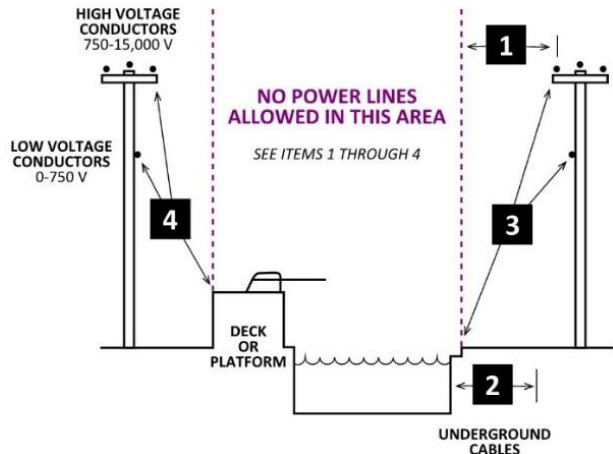


FIGURE 4. MINIMUM CLEARANCES BY POOLS/SPAS/HOT TUBS

1. HORIZONTAL LIMIT OF AERIAL CLEARANCE SHALL NOT MEASURE LESS THAN 10' FROM THE INSIDE WALL OF THE POOL.
2. UNDERGROUND SERVICE CABLES SHALL NOT BE PERMITTED WITHIN 5' OF THE INSIDE WALL OF THE POOL OR UNDER THE POOL WHERE SPACE LIMITATIONS EXIST SERVICE CABLES MUST BE INSTALLED 24" DEEP IN A 4" CONDUIT AT UTILITY CUSTOMER'S EXPENSE.
3. CLEARANCE IN ANY DIRECTION FROM THE EDGE OF THE POOL (WITHOUT VIOLATING ITEM 1): 0-750 V: 22'-6" | 750-15,000 V: 25'-0"
4. CLEARANCE IN ANY DIRECTION TO A DECK OR PLATFORM (WITHOUT VIOLATING ITEM 1): 0-750 V: 14'-6" | 750-15,000 V: 17'-0"

☐ WATER SUPPLY, CONTROL, AND DISCHARGE

No source of water, other than that secured from the Village of Lombard waterworks distribution system, shall be used in private pools.

If a hose connection from a sillcock or other plumbing fixture is to be used for supplying make-up water or filling purposes, then an approved vacuum breaker shall be installed between the sillcock or control valve at the fixture on the hose connection.

All backwash water and effluents shall be discharged to the sewer through an indirect connection. Drainage of any pool shall be carefully controlled and provided for so that such drainage shall not cause flooding or damage to adjacent properties.

☐ POOL DECKS

All decks around pools/spas/hot tubs shall be in accordance with the 2018 ISPCS. Decks provided by the pool manufacturer shall be installed in accordance with the manufacturer's instructions. The structural design and installation of decks fabricated on site shall be in accordance with the 2018 IRC.

Deck walking surfaces shall be slip resistant and cleanable. The wood and composite deck boards shall be provided with gaps that do not cause a tripping hazard and have max. 1/4" per 12" (2%) slope to prevent accumulation of water.

☐ INSPECTIONS

A complete list of your required inspections will be provided on a Permit Card that will be attached to your approved document submittal. Typically, you will see:

- **FINAL BUILDING**, and
- **FINAL ELECTRIC**

These inspections are performed at the same time.

Ends and mid-section of utility trenches must remain exposed until the inspections are passed. Secure required openings to prevent a fall hazard where located in an area subject to foot (or paw) traffic.

POOLS/SPAS/HOT TUBS SHALL NOT BE USED OR OCCUPIED UNTIL ALL INSPECTIONS ARE PASSED.

☐ OTHER RECOMMENDED HANDOUTS

- DECKS AND OTHER ACCESSORY STRUCTURES
- POOL/SPA/HOT TUB SAFETY BARRIER
- REQUIRED INSPECTIONS
- RESIDENTIAL FENCES
- SAMPLE DRAWINGS – ABOVE-/ON-GROUND POOL
- UNDERGROUND UTILITIES INSTALLATION

THIS HANDOUT IS INTENDED ONLY AS A GUIDE AND IS BASED IN PART ON THE APPLICABLE CODES, VILLAGE ORDINANCES, AND GOOD BUILDING PRACTICES. RESPONSIBILITY FOR COMPLIANCE WITH THE APPLICABLE CODES AND ORDINANCES FALLS ON THE APPLICANT, OWNER, DESIGNER AND/OR CONTRACTOR.

QUESTIONS OR CONCERNS? CONTACT BUILDING DIVISION | (630) 620-5750 | PERMITS@VILLAGEOFLOMBARD.ORG

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